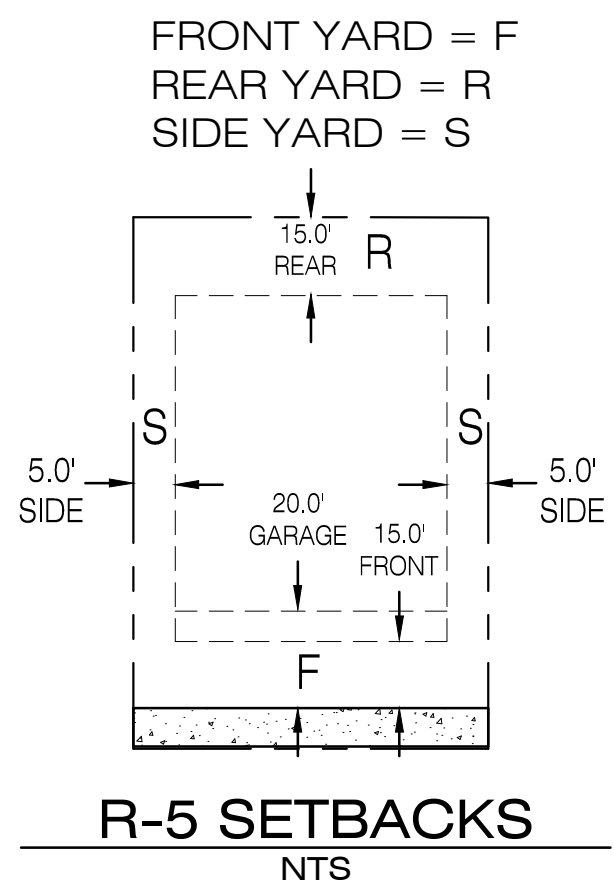


Received  
 Planning Division  
 12/22/2023

# SOUTHRIDGE PARK

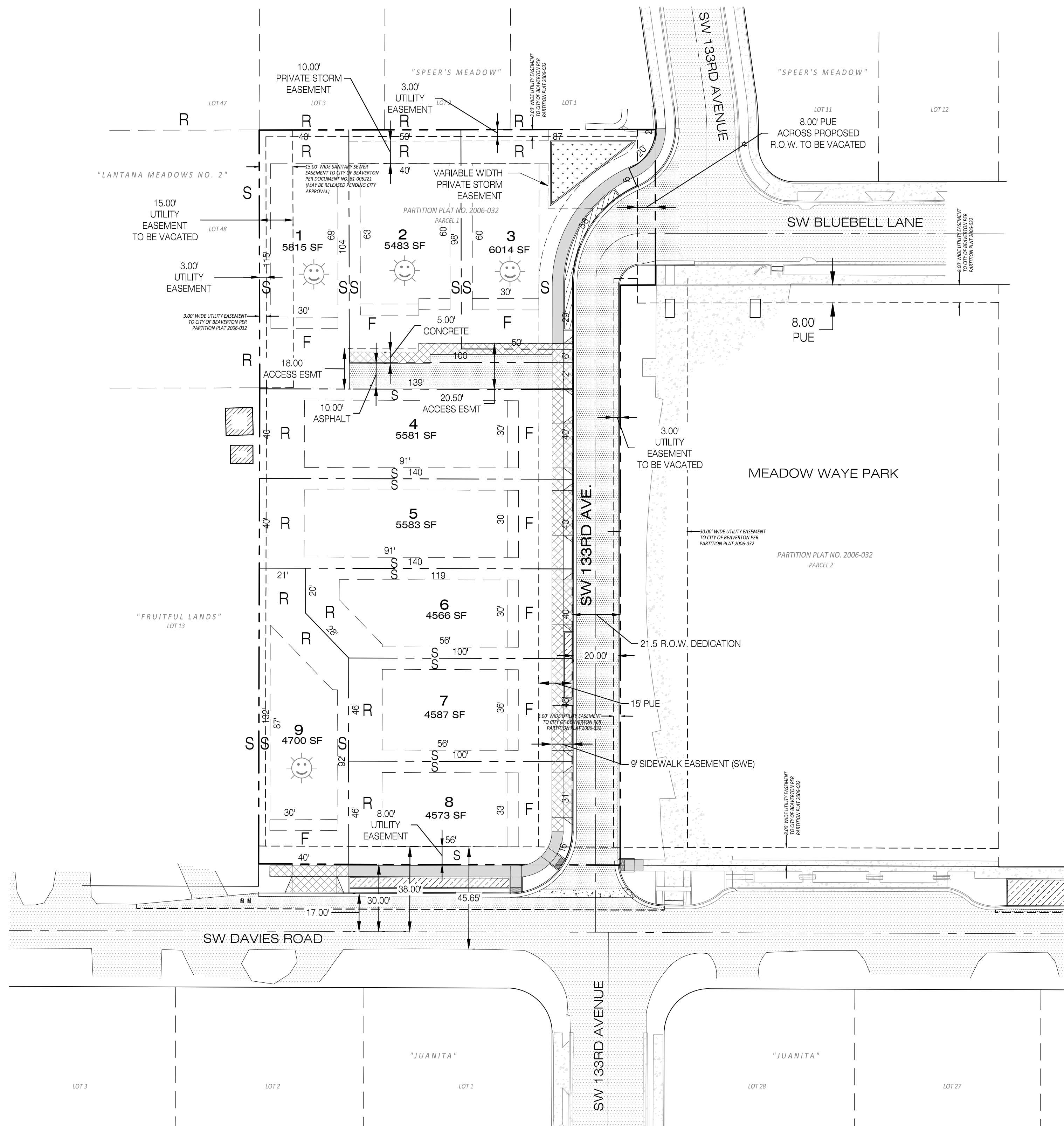
Exhibit 2.4

A 9 LOT SUBDIVISION ON TAX LOT 14600, MAP 1S1 28AB (LOT 1 PARTITION 2006-032)  
 13335 SW DAVIES ROAD, BEAVERTON, OREGON, 97006

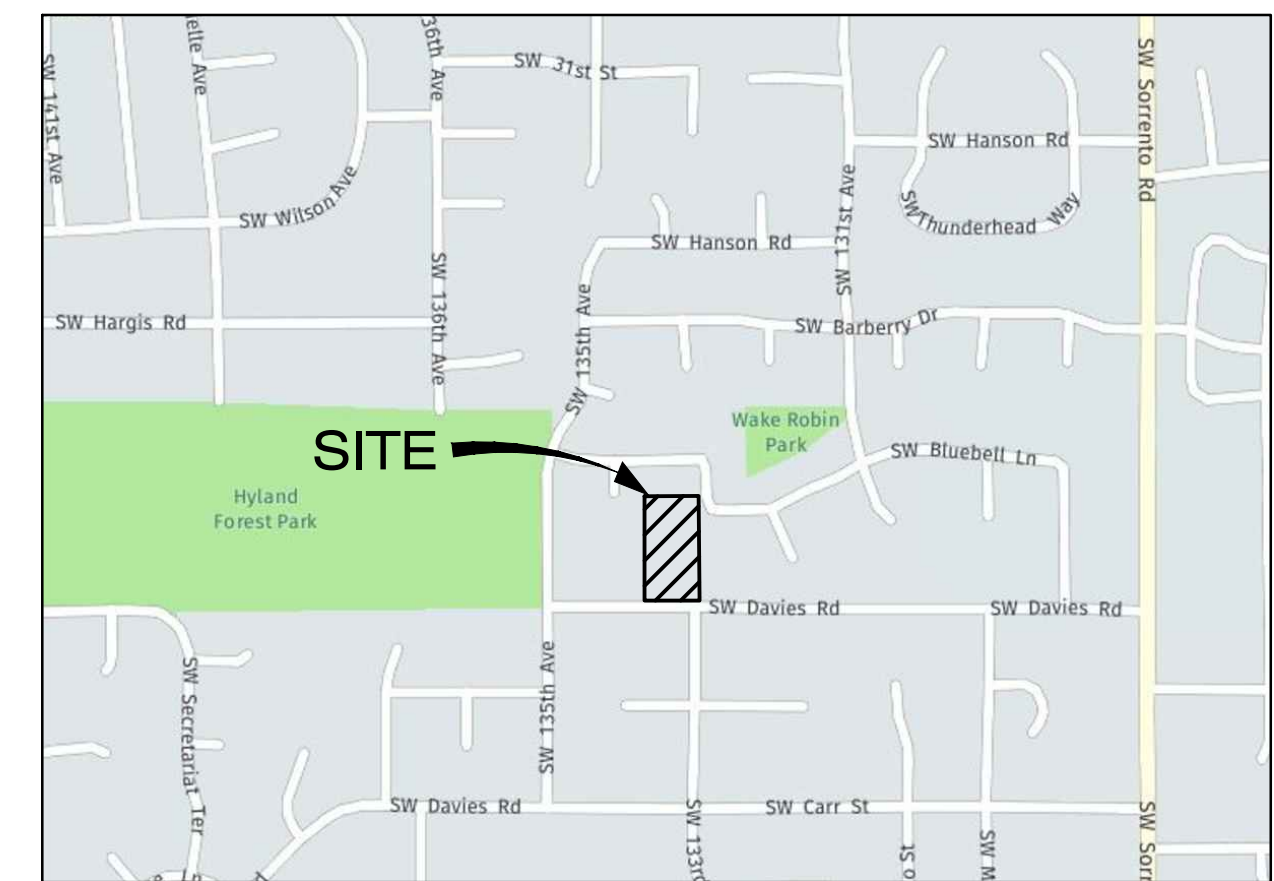


☀️ = SOLAR ACCESS AVAILABLE

FRONT BUILDING: 15 FT.  
 FRONT GARAGE: 20 FT.  
 SIDE YARD: 5 FT.  
 REAR BUILDING: 15 FT.



**SITE MAP**  
 1" = 30'



**VICINITY MAP**  
 N.T.S.

**APPLICANT/OWNER**

RIVERSIDE HOMES  
 17933 NW EVERGREEN PLACE, SUITE 370  
 BEAVERTON, OR 97006  
 PHONE (503) 645-0986

**PLANNING/ENGINEERING/SURVEYING**

PIONEER DESIGN GROUP, INC.  
 9020 SW WASHINGTON SQ RD., SUITE 170  
 PORTLAND, OR 97223  
 PHONE (503) 643-8286  
 CONTACT: MATT SPRAGUE

**PROJECT ARBORIST**

MORGAN HOLEN & ASSOCIATES, LLC.  
 3 MONROE PARKWAY, SUITE P220  
 LAKE OSWEGO, OR 97035  
 PHONE (971) 409-9354  
 CONTACT: MORGAN HOLEN

**SHEET INDEX**

SHEET NUMBER	SHEET DESCRIPTION
P1.0	PRELIMINARY PLAT
P2.0	EXISTING CONDITIONS & DEMOLITION PLAN
P3.0	PRELIMINARY GRADING AND EROSION CONTROL PLAN
P4.0	PRELIMINARY TREE REMOVAL PLAN & SPECIFICATIONS
P5.0	SITE CROSS SECTIONS - PLAN AND PROFILES
P6.0	PRELIMINARY COMPOSITE UTILITY PLAN
P7.0	SW DAVIES ROAD - PLAN AND PROFILE
P7.1	SW 133RD AVE, SDLN-01, SDLN-02 - PLAN AND PROFILE
P8.0	SSLN-A, SSLN-B - PLAN AND PROFILE
P9.0	CIRCULATION AND AERIAL PLAN

**VERTICAL DATUM**

WASHINGTON COUNTY BENCHMARK NO. 396.  
 A BRASS DISK SET IN THE HANDRAIL ON THE  
 BEAVERTON-TIGARD HIGHWAY 217 AT THE  
 NORTHEAST CORNER OF THE HALL BOULEVARD  
 OVERPASS  
 ELEVATION OF BM: 224.936 (NGVD 29 DATUM)

**SITE INFORMATION**

TAX MAP: 1S1 28AB  
 TAX LOT: 14600  
 SITE ADDRESS: 13335 SW DAVIES RD.  
 BEAVERTON, OREGON 97006  
 SITE SIZE: 1.24 ACRES  
 ZONING: R-5 (STANDARD DENSITY)

**SETBACK REQUIREMENTS**

FRONT BUILDING: 15 FT.  
 FRONT GARAGE: 20 FT.  
 SIDE YARD: 5 FT.  
 REAR BUILDING: 15 FT. (LOTS 1-3, 6-9)  
 20 FT. (LOTS 4 & 5)

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**PIONEER DESIGN GROUP**  
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**PRELIMINARY PLAT**

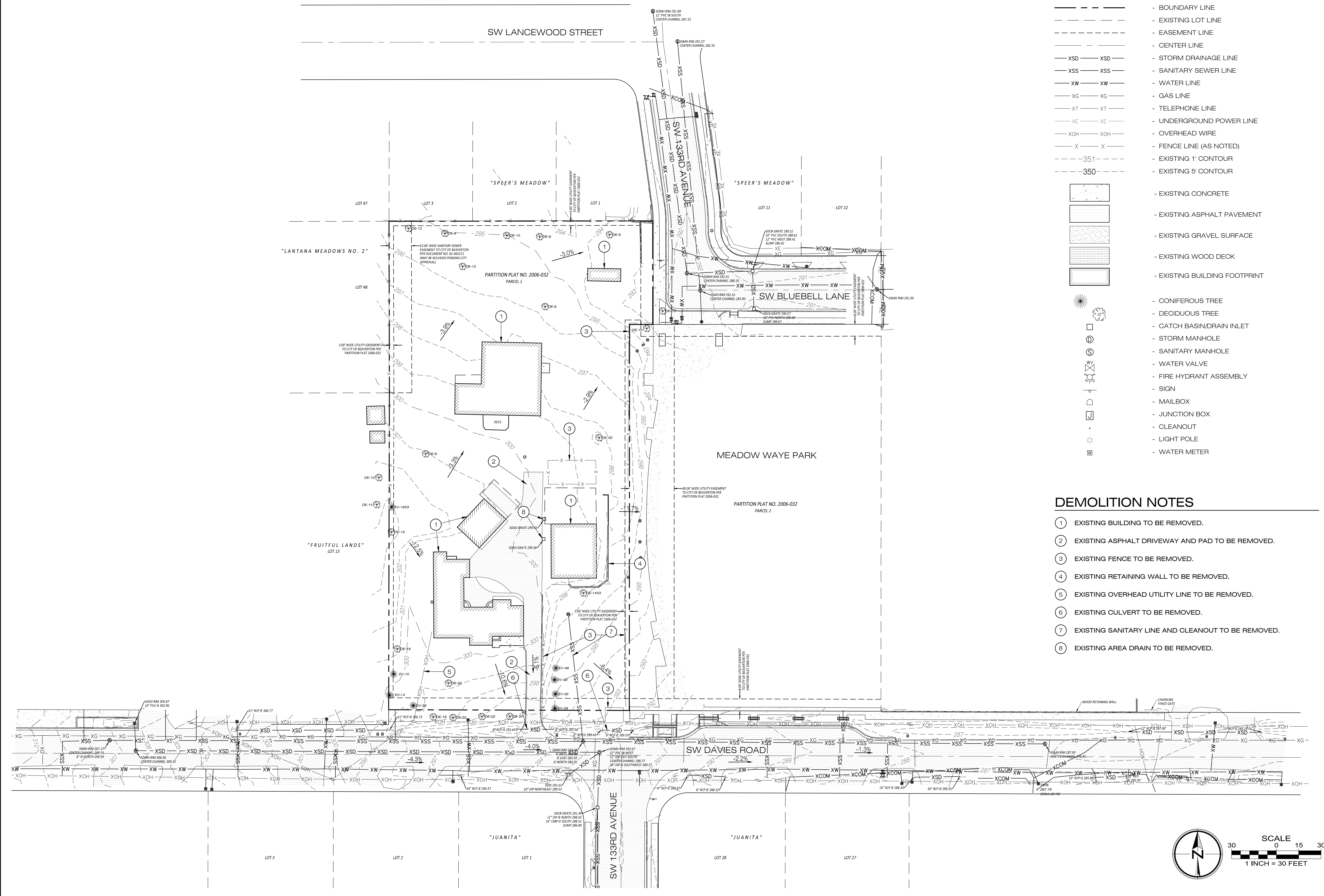
SOUTHRIDGE PARK  
 CITY OF BEAVERTON, OREGON

Designed by	Date	TCC	Reviewed by	Date	REF.
	07/19			07/19	
	07/19			07/19	

By	Revision	Date

Project: SOUTHRIDGE PARK  
 No: 131-021  
 Type: PLANNING  
 Sheet

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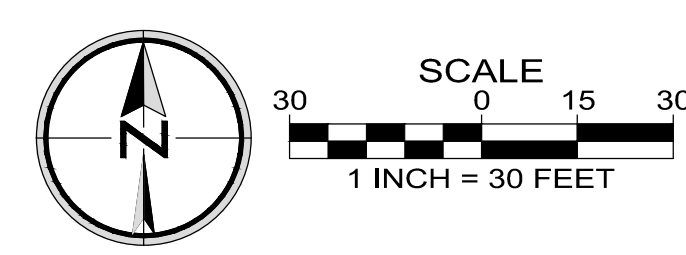


**LEGEND**

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- EXISTING LOT LINE
- EASEMENT LINE
- CENTER LINE
- STORM DRAINAGE LINE
- SANITARY SEWER LINE
- WATER LINE
- GAS LINE
- TELEPHONE LINE
- UNDERGROUND POWER LINE
- OVERHEAD WIRE
- FENCE LINE (AS NOTED)
- 351--- EXISTING 1' CONTOUR
- 350--- EXISTING 5' CONTOUR
- [Pattern] EXISTING CONCRETE
- [Pattern] EXISTING ASPHALT PAVEMENT
- [Pattern] EXISTING GRAVEL SURFACE
- [Pattern] EXISTING WOOD DECK
- [Pattern] EXISTING BUILDING FOOTPRINT
- [Symbol] CONIFEROUS TREE
- [Symbol] DECIDUOUS TREE
- [Symbol] CATCH BASIN/DRAIN INLET
- [Symbol] STORM MANHOLE
- [Symbol] SANITARY MANHOLE
- [Symbol] WATER VALVE
- [Symbol] FIRE HYDRANT ASSEMBLY
- [Symbol] SIGN
- [Symbol] MAILBOX
- [Symbol] JUNCTION BOX
- [Symbol] CLEANOUT
- [Symbol] LIGHT POLE
- [Symbol] WATER METER

**DEMOLITION NOTES**

- ① EXISTING BUILDING TO BE REMOVED.
- ② EXISTING ASPHALT DRIVEWAY AND PAD TO BE REMOVED.
- ③ EXISTING FENCE TO BE REMOVED.
- ④ EXISTING RETAINING WALL TO BE REMOVED.
- ⑤ EXISTING OVERHEAD UTILITY LINE TO BE REMOVED.
- ⑥ EXISTING CULVERT TO BE REMOVED.
- ⑦ EXISTING SANITARY LINE AND CLEANOUT TO BE REMOVED.
- ⑧ EXISTING AREA DRAIN TO BE REMOVED.

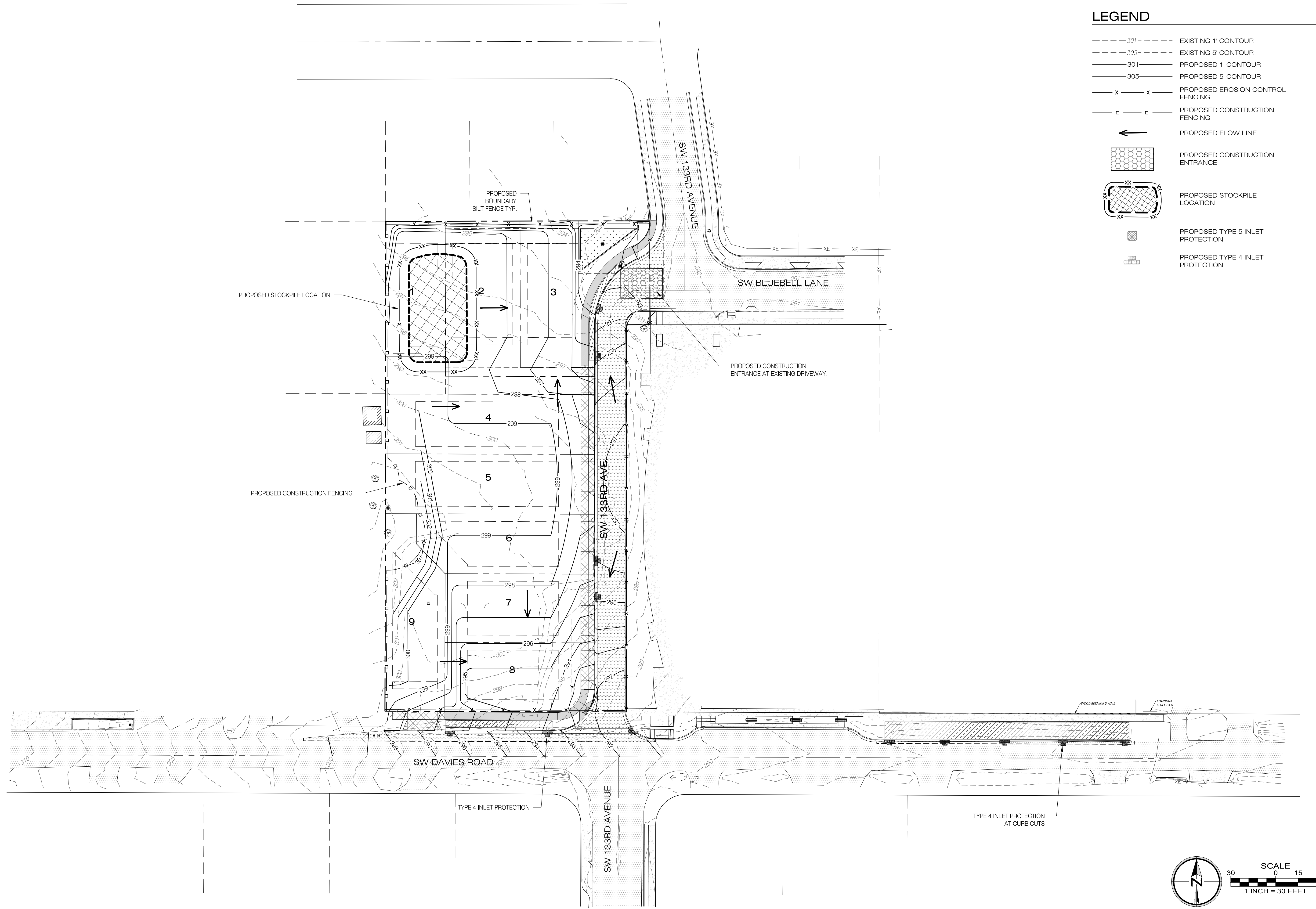


**EXISTING CONDITIONS**

SOUTHRIDGE PARK  
 CITY OF BEAVERTON, OREGON

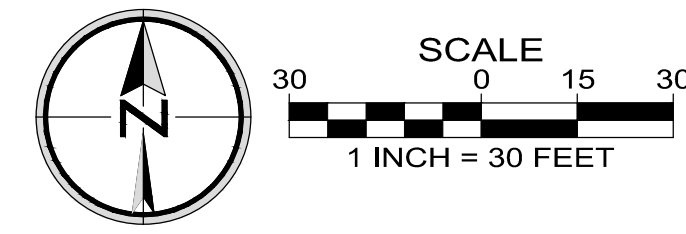
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JIS	07/19	TCC	07/19	MLS	07/19	131-021	
							REF.

No.	Date	Revision



**LEGEND**

- 301 --- EXISTING 1' CONTOUR
- 305 --- EXISTING 5' CONTOUR
- 301 — PROPOSED 1' CONTOUR
- 305 — PROPOSED 5' CONTOUR
- x — x — PROPOSED EROSION CONTROL FENCING
- □ — □ — PROPOSED CONSTRUCTION FENCING
- ← PROPOSED FLOW LINE
- [Hatched Box] PROPOSED CONSTRUCTION ENTRANCE
- [Cross-hatched Box] PROPOSED STOCKPILE LOCATION
- [Square with Dots] PROPOSED TYPE 5 INLET PROTECTION
- [Square with Bars] PROPOSED TYPE 4 INLET PROTECTION



**PRELIMINARY GRADING AND EROSION CONTROL PLAN**  
 SOUTHRIDGE PARK  
 CITY OF BEAVERTON, OREGON

Designed by	Date	Drawn by	Date	Reviewed by	Date	Project No.	Horiz. Scale:	Vert. Scale:
JIS	07/19	TCC	07/19	MLS	07/19	131-021	REF.	

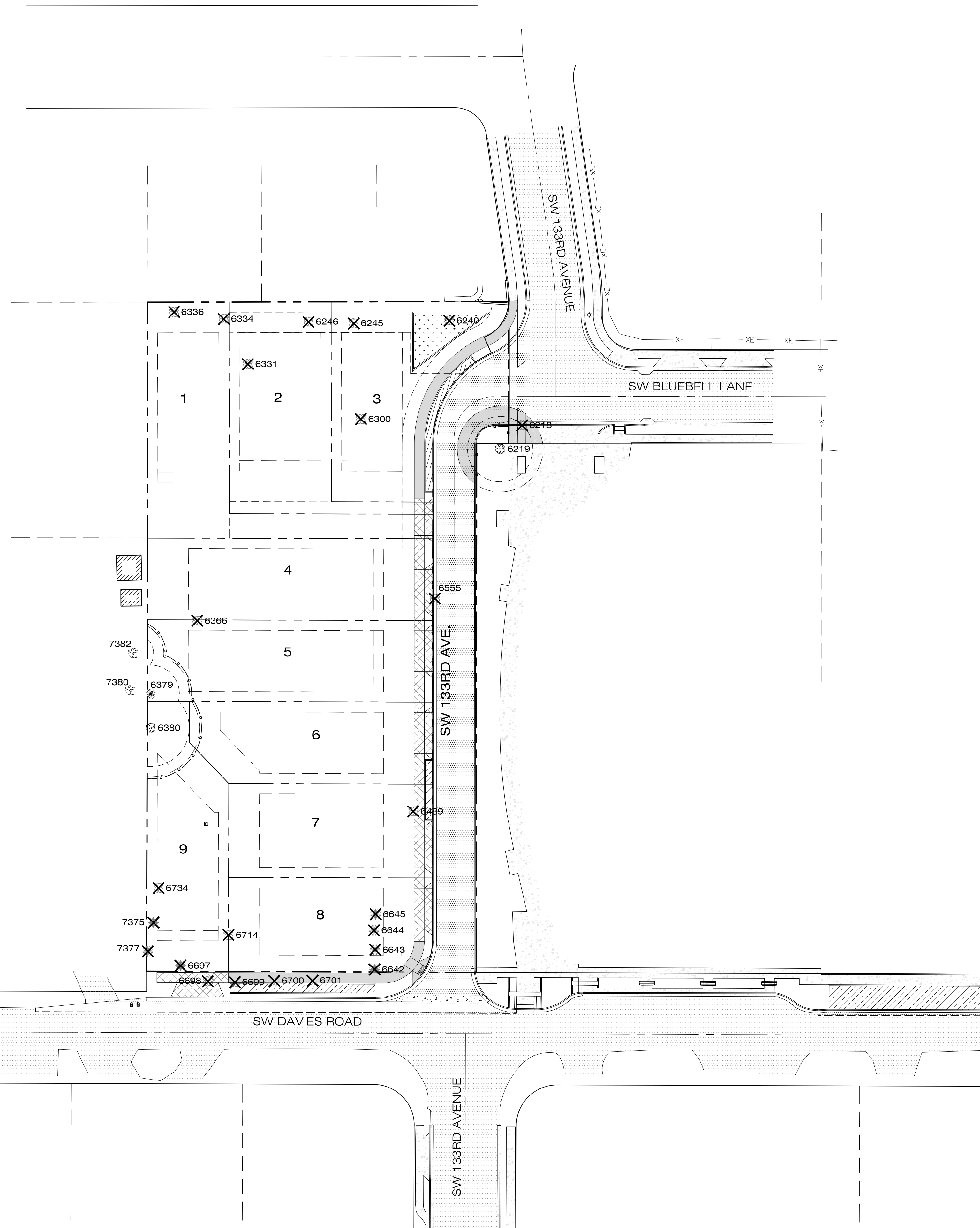
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CONSENT MUST BE GIVEN BY ADJACENT LAND OWNER PRIOR TO THE REMOVAL OF TREES ON PROPERTY LINES.

TREE POINT TABLE	
POINT #	DESCRIPTION
6218	DE-11
6219	DE-10
6240	DE-6
6245	DE-7
6246	DE-9
6300	DE-9
6331	DE-11
6334	DE-5
6336	DE-14
6366	DE-6
6379	CON-4,3X8,12,2X16
6380	DE-14
6489	DE-12,13,14
6555	DE-32

TREE POINT TABLE	
POINT #	DESCRIPTION
6642	CON-34
6643	CON-34
6644	CON-32
6645	CON-43
6697	CON-35
6698	DE-20
6699	DE-21
6700	DE-22
6701	DE-20
6714	DE-33
6734	DE-24
7375	CON-11
7377	CON-16
7380	DE-14
7382	DE-10

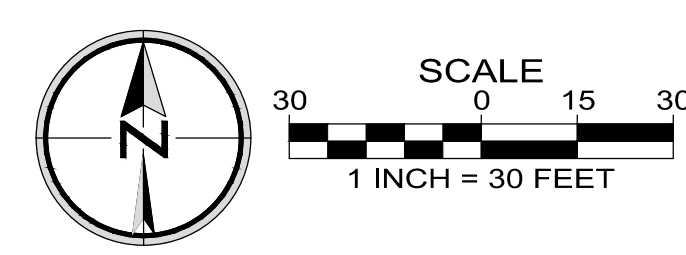


**LEGEND**

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- BOUNDARY LINE
- ▨ PROPOSED SIDEWALK
- ▨ PROPOSED PAVEMENT
- - - EXISTING DRIP LINE
- - - ROOT PROTECTION ZONE
- - - TREE PROTECTION FENCING
- EXISTING TREE TO REMAIN
- ✕ EXISTING TREE TO BE REMOVED
- ▨ DRIP LINE AND ROOT PROTECTION ZONE ENCROACHMENT AREA

**TREE PROTECTION SPECIFICATIONS**

- FENCING.** TREES TO BE RETAINED SHALL BE PROTECTED BY INSTALLATION OF TREE PROTECTION FENCING TO PREVENT INJURY TO TREE TRUNKS OR ROOTS OR SOIL COMPACTION WITHIN THE ROOT PROTECTION ZONE WHICH GENERALLY COINCIDES WITH THE DRIPLINE PLUS 5- FEET. FENCING SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN AND INSPECTED AND VERIFIED BY THE PROJECT ARBORIST BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL REMAIN IN PLACE UNTIL PHYSICAL DEVELOPMENT IS COMPLETE.  
THE FENCE SHALL BE A FOUR FOOT (4) TALL ORANGE PLASTIC OR SNOW FENCE SECURED TO SIX FOOT (6) TALL METAL POSTS DRIVEN TWO FEET (2) INTO THE GROUND. HEAVY 12-GAUGE WIRE SHALL BE STRUNG BETWEEN EACH POST AND ATTACHED TO THE TOP AND MIDPOINT OF EACH POST. COLORED TREE FLAGGING INDICATING THAT THIS AREA IS A TREE PROTECTION ZONE IS TO BE PLACED EVERY FIVE (5) LINEAR FEET ON THE FENCE TO ALERT CONSTRUCTION CREWS OF THE SENSITIVE NATURE OF THE AREA.
- TREE PROTECTION ZONE.** WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR WITHIN ROOT PROTECTION ZONES OR ALLOWED ENCROACHMENT AREAS AS IDENTIFIED ON THE TREE PLAN:
  - CONSTRUCTION OR PLACEMENT OF NEW BUILDINGS;
  - GRADE CHANGE OR CUT AND FILL, DURING OR AFTER CONSTRUCTION;
  - NEW IMPERVIOUS SURFACES;
  - TRENCHING FOR UTILITIES, IRRIGATION OR DRAINAGE;
  - STAGING OR STORAGE OF MATERIALS AND EQUIPMENT OF ANY KIND; OR
  - VEHICLE MANEUVERING OR PARKING.
 ROOT PROTECTION ZONES MAY BE ENTERED FOR TASKS LIKE SURVEYING, MEASURING, AND SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS.
- TREE REMOVAL.** PRIOR TO THE REMOVAL OF TREE #7377, THE WESTERN PROPERTY BOUNDARY SHALL BE STAKED AND THE LOCATION OF THE TREE VERIFIED. IF ANY PORTION OF THE BASE OF THE TRUNK IS ON THE PROPERTY BOUNDARY, WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER IS REQUIRED PRIOR TO ITS REMOVAL.
- CROWN PRUNING.** TREES TO BE PRESERVED MAY REQUIRE MINOR PRUNING FOR OVERHEAD CLEARANCE AND TO REMOVE DEAD AND DEFECTIVE BRANCHES FOR SAFETY. THE PROJECT ARBORIST CAN HELP IDENTIFY WHETHER PRUNING IS NECESSARY ONCE TREES PLANNED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS STAKED AND PREPARED FOR CONSTRUCTION. PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE AND IN ACCORDANCE WITH ANSI A300 STANDARDS AND BEST MANAGEMENT PRACTICES FOR PRUNING (ISA 2019).
- TREE #6219 - EXCAVATION IN STANDARD PROTECTION ZONE ENCROACHMENT AREA.** THE DEVELOPER SHALL COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER TO MONITOR AND DOCUMENT STREET EXCAVATION WITHIN THE ALLOWED ENCROACHMENT AREA AS IDENTIFIED ON THE TREE PLAN. THE ARBORIST SHALL PROVIDE ON-THE-GROUND RECOMMENDATIONS TO MINIMIZE IMPACTS WHICH MAY INCLUDE HAND-DIGGING AND ROOT PRUNING IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOR ROOT MANAGEMENT (ISA 2017).
- LANDSCAPING.** FOLLOWING CONSTRUCTION AND PRIOR TO LANDSCAPING, THE PROTECTION FENCING MAY BE REMOVED. WHERE LANDSCAPING IS DESIRED, APPLY TWO TO THREE INCHES (2-3") OF MULCH BENEATH THE DRIPLINE OF PROTECTED TREES, BUT NOT DIRECTLY AGAINST TREE TRUNKS. SHRUBS AND GROUND COVER PLANTS MAY BE PLANTED WITHIN TREE PROTECTION AREAS BY HAND, ADJUST PLANTING LOCATIONS TO AVOID TREE ROOTS. IF IRRIGATION IS USED, USE DRIP IRRIGATION ONLY BENEATH THE DRIPLINES OF PROTECTED TREES; INSTALL DRIP IRRIGATION LINES ON THE GROUND SURFACE AND COVER WITH MULCH (NO TRENCHING TO INSTALL IRRIGATION LINES BENEATH PROTECTED TREE DRIPLINES).
- QUALITY ASSURANCE.** THE PROJECT ARBORIST WILL BE AVAILABLE ON-CALL DURING CONSTRUCTION TO SUPERVISE PROPER EXECUTION OF THIS PLAN; IT IS THE DEVELOPER'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER AS NEEDED. TREE PROTECTION SITE INSPECTION MONITORING REPORTS SHOULD BE PROVIDED TO THE CLIENT AND CONTRACTOR FOLLOWING EACH SITE VISIT PERFORMED BY THE PROJECT ARBORIST DURING CONSTRUCTION.



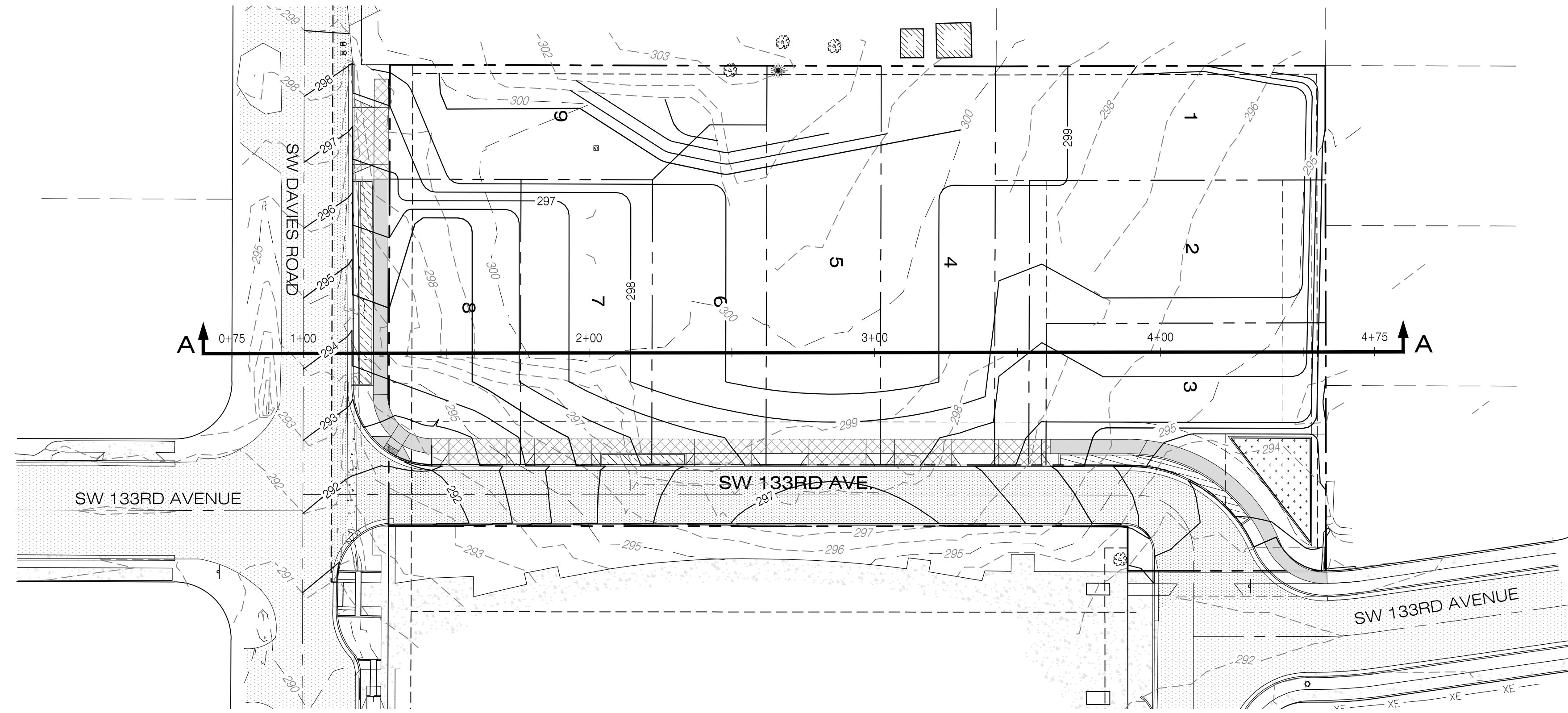
**TREE REMOVAL PLAN**

SOUTHRIDGE PARK  
 CITY OF BEAVERTON, OREGON

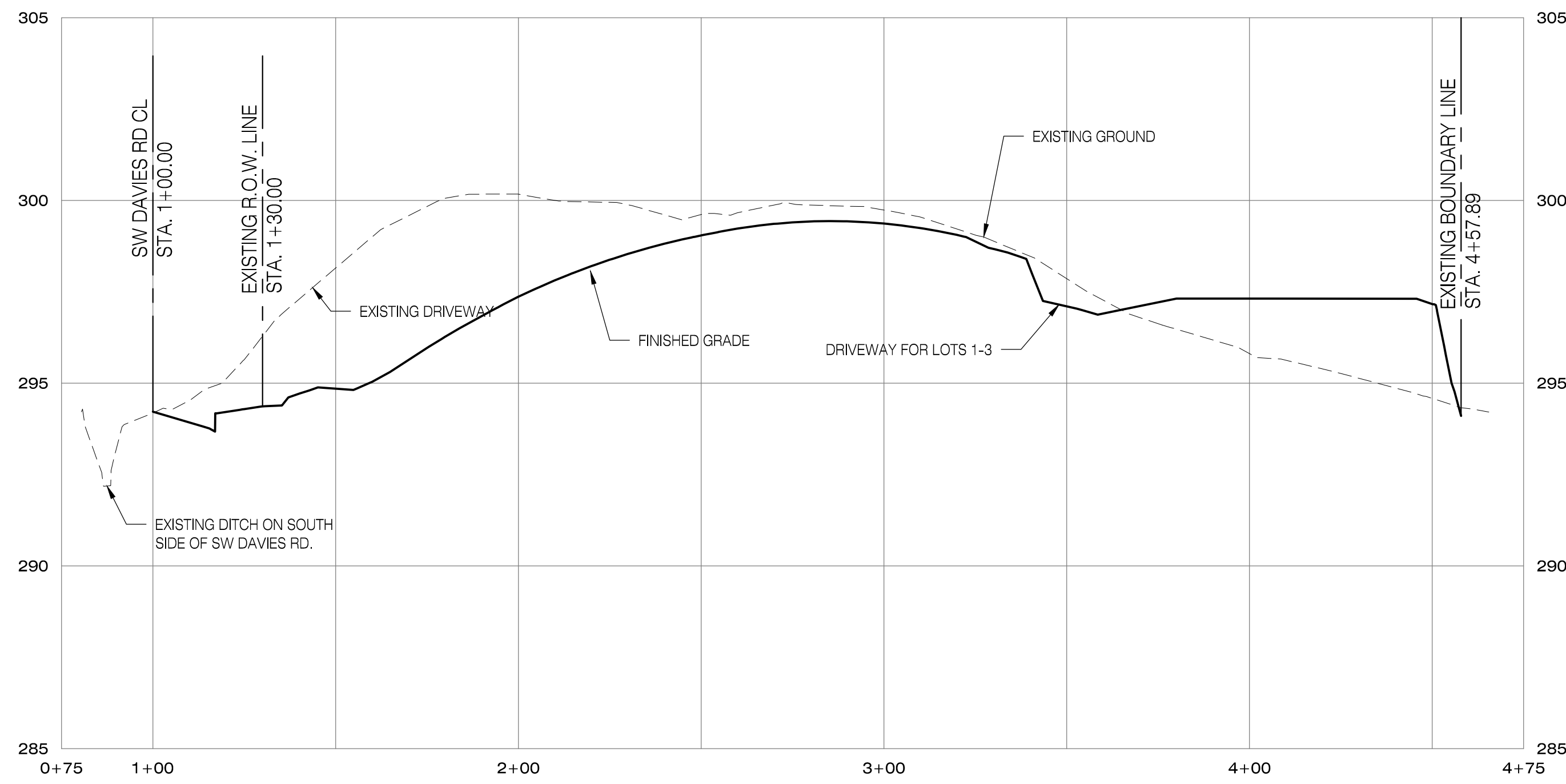
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JIS	07/19	TCC	07/19	MLS	07/19	131-021		

No.	Date	By	Revision

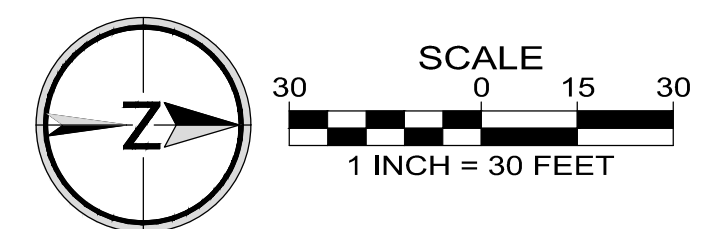
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**SITE SECTION A-A - PLAN**  
 HORZ: 1"=30'



**SITE SECTION A-A - PROFILE**  
 HORZ: 1"=30'; VERT: 1"=3'



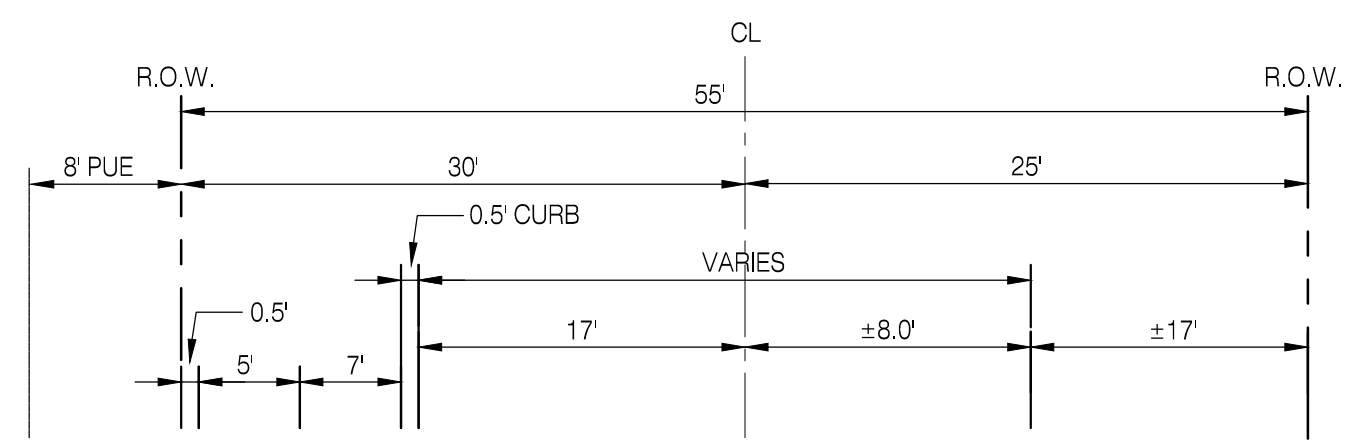
**SITE CROSS SECTION A-A -  
 PLAN AND PROFILE**

SOUTHRIDGE PARK  
 CITY OF BEAVERTON, OREGON

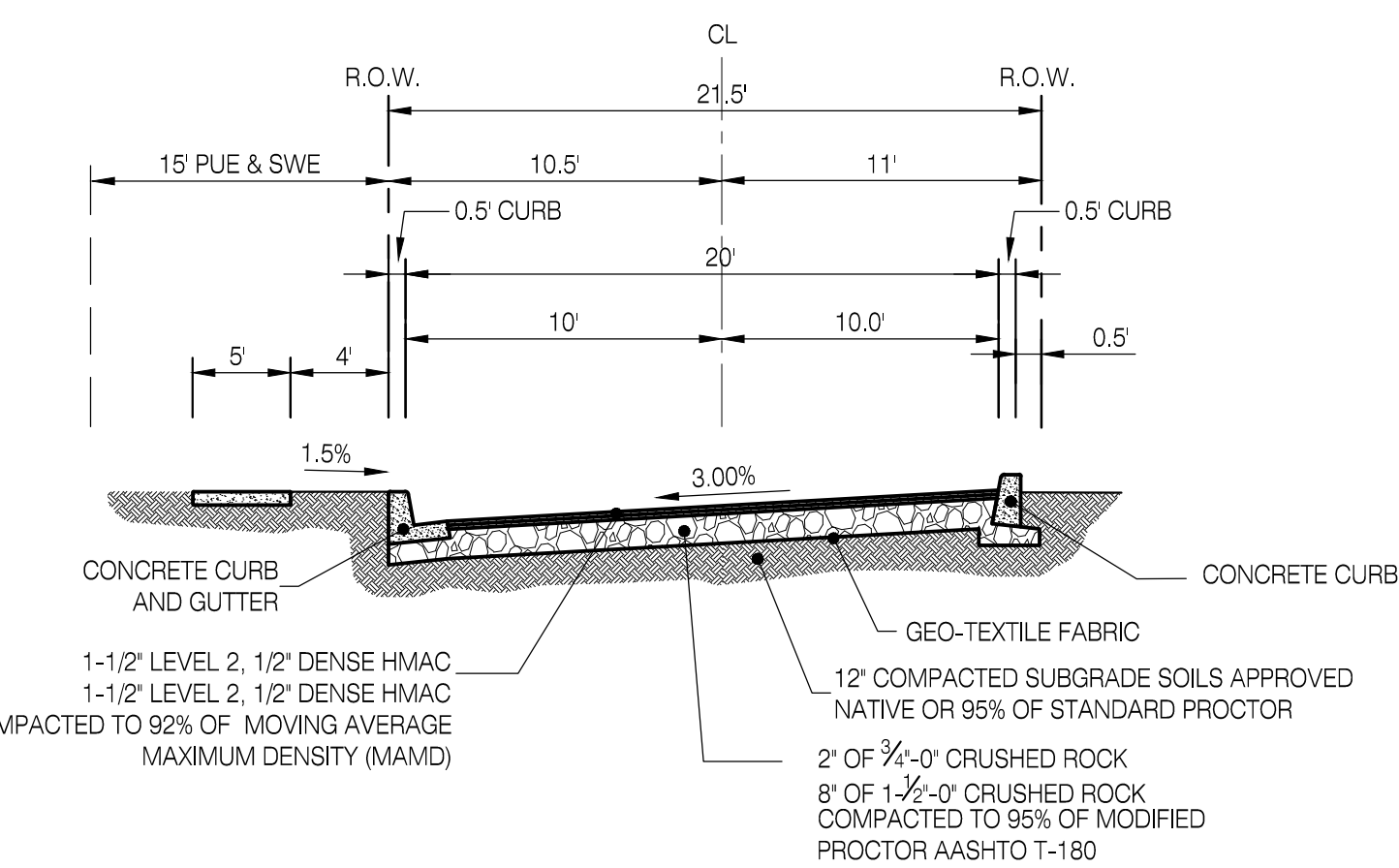
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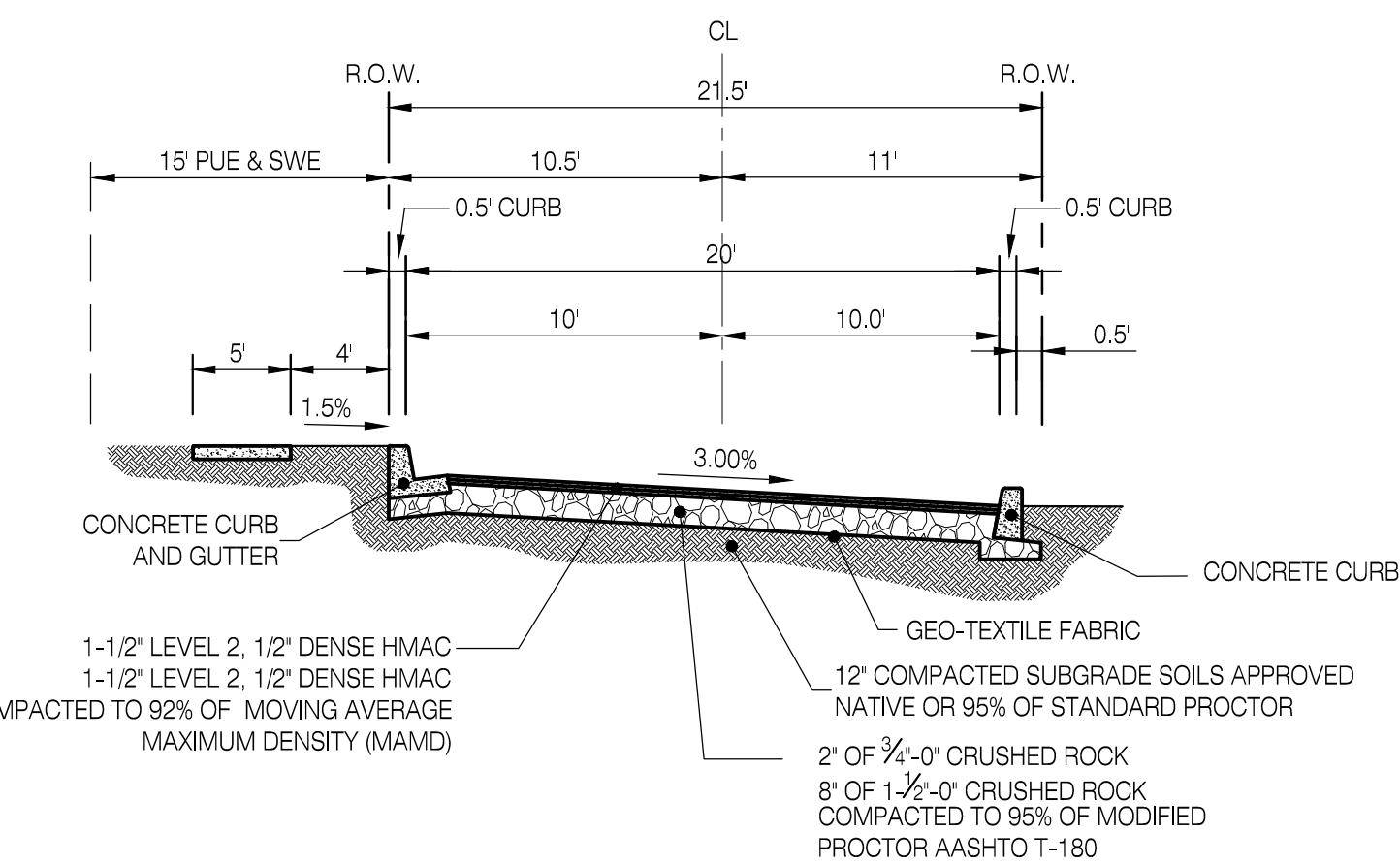
Project: SOUTHRIDGE PARK  
 No.: 131-021  
 Type: PLANNING  
 Sheet:



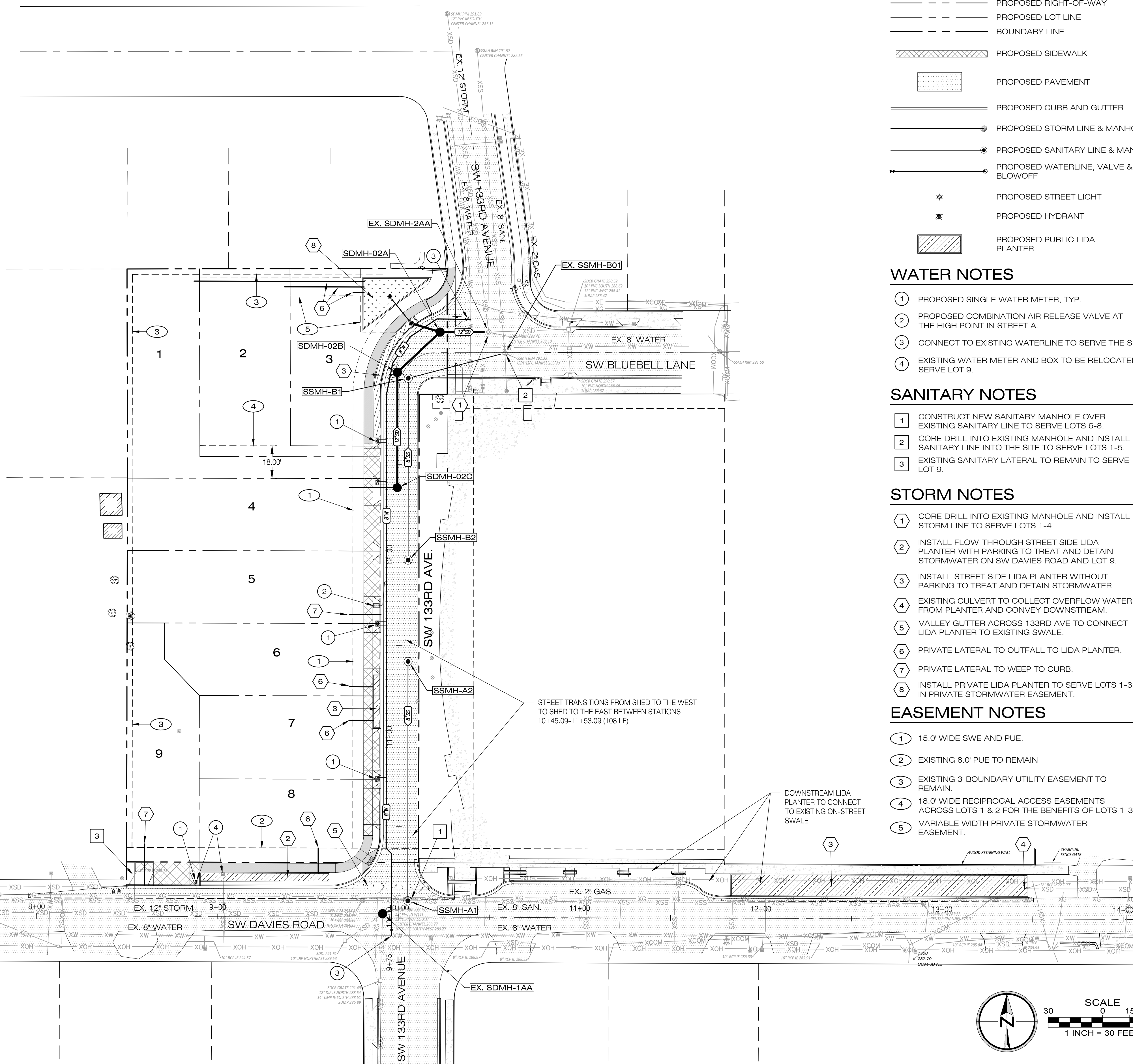
**TYPICAL STREET SECTION**  
SW DAVIES ROAD STA. 8+49.58-10+09.93



**TYPICAL PUBLIC STREET SECTION**  
SW 133RD AVENUE (STA. 11+53.09-12+88.10)  
N.T.S.



**TYPICAL PUBLIC STREET SECTION**  
SW 133RD AVENUE (STA. 10+45.09)  
N.T.S.



**LEGEND**

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- [Hatched Box] PROPOSED SIDEWALK
- [Dotted Box] PROPOSED PAVEMENT
- [Line with Dots] PROPOSED CURB AND GUTTER
- [Line with Circle] PROPOSED STORM LINE & MANHOLE
- [Line with Circle] PROPOSED SANITARY LINE & MANHOLE
- [Line with Circle] PROPOSED WATERLINE, VALVE & BLOWOFF
- [Star] PROPOSED STREET LIGHT
- [Star] PROPOSED HYDRANT
- [Hatched Box] PROPOSED PUBLIC LIDA PLANTER

**WATER NOTES**

- 1 PROPOSED SINGLE WATER METER, TYP.
- 2 PROPOSED COMBINATION AIR RELEASE VALVE AT THE HIGH POINT IN STREET A.
- 3 CONNECT TO EXISTING WATERLINE TO SERVE THE SITE.
- 4 EXISTING WATER METER AND BOX TO BE RELOCATED TO SERVE LOT 9.

**SANITARY NOTES**

- 1 CONSTRUCT NEW SANITARY MANHOLE OVER EXISTING SANITARY LINE TO SERVE LOTS 6-8.
- 2 CORE DRILL INTO EXISTING MANHOLE AND INSTALL SANITARY LINE INTO THE SITE TO SERVE LOTS 1-5.
- 3 EXISTING SANITARY LATERAL TO REMAIN TO SERVE LOT 9.

**STORM NOTES**

- 1 CORE DRILL INTO EXISTING MANHOLE AND INSTALL STORM LINE TO SERVE LOTS 1-4.
- 2 INSTALL FLOW-THROUGH STREET SIDE LIDA PLANTER WITH PARKING TO TREAT AND DETAIN STORMWATER ON SW DAVIES ROAD AND LOT 9.
- 3 INSTALL STREET SIDE LIDA PLANTER WITHOUT PARKING TO TREAT AND DETAIN STORMWATER.
- 4 EXISTING CULVERT TO COLLECT OVERFLOW WATER FROM PLANTER AND CONVEY DOWNSTREAM.
- 5 VALLEY GUTTER ACROSS 133RD AVE TO CONNECT LIDA PLANTER TO EXISTING SWALE.
- 6 PRIVATE LATERAL TO OUTFALL TO LIDA PLANTER.
- 7 PRIVATE LATERAL TO WEEP TO CURB.
- 8 INSTALL PRIVATE LIDA PLANTER TO SERVE LOTS 1-3 IN PRIVATE STORMWATER EASEMENT.

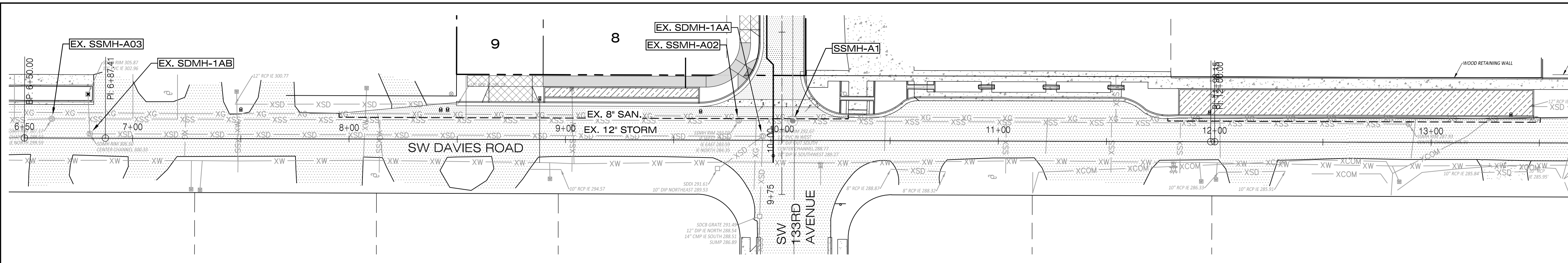
**EASEMENT NOTES**

- 1 15.0' WIDE SWE AND PUE.
- 2 EXISTING 8.0' PUE TO REMAIN
- 3 EXISTING 3' BOUNDARY UTILITY EASEMENT TO REMAIN.
- 4 18.0' WIDE RECIPROCAL ACCESS EASEMENTS ACROSS LOTS 1 & 2 FOR THE BENEFITS OF LOTS 1-3.
- 5 VARIABLE WIDTH PRIVATE STORMWATER EASEMENT.

Designed by	JIS	Date	07/19
Drawn by	TCC	Date	07/19
Reviewed by	MLS	Date	07/19
Project No.	131-021	REF.	
Horiz. Scale:		Vert. Scale:	131021_06a11.dwg

No.	Date	Revision

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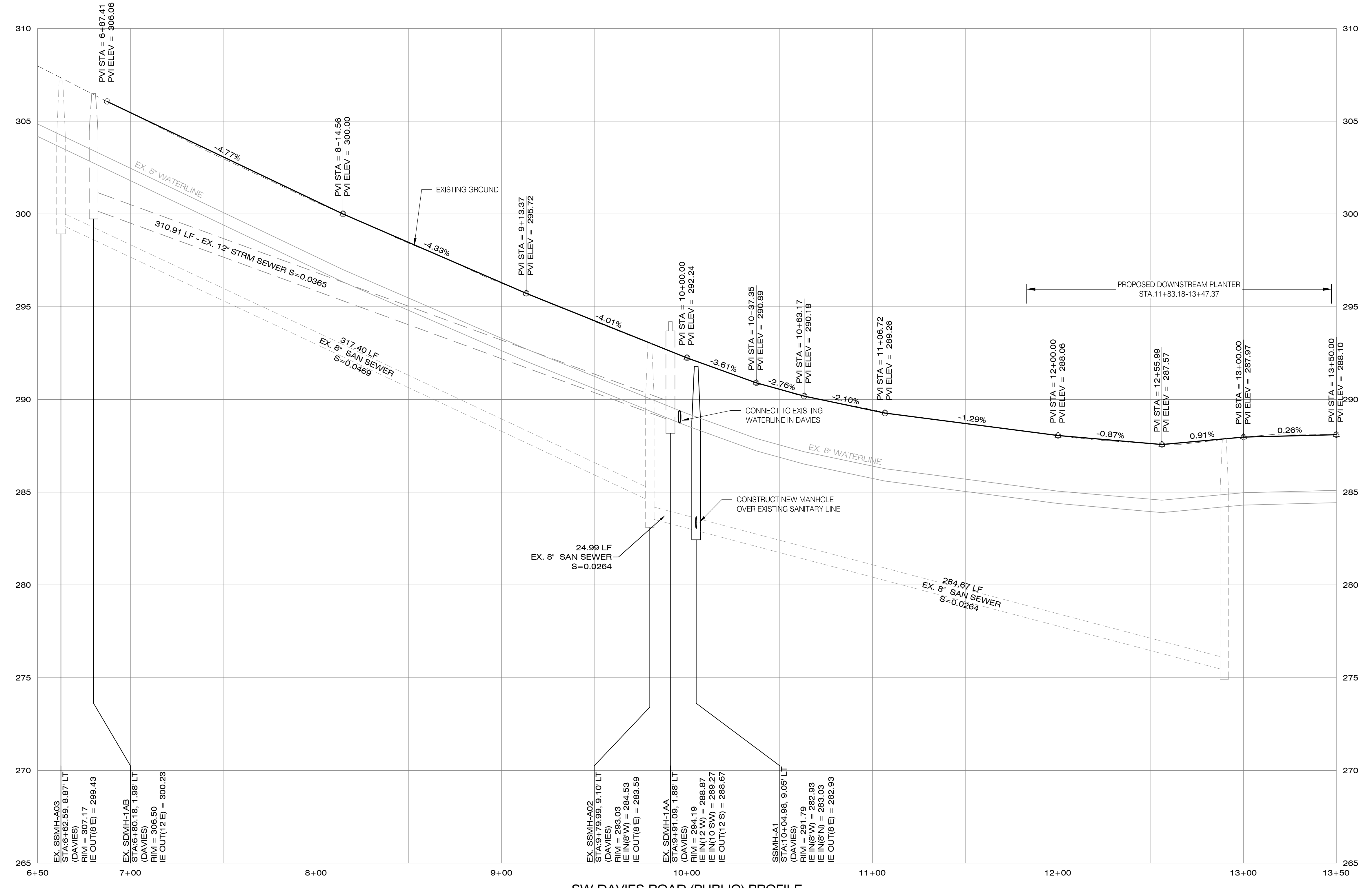


**SW DAVIES ROAD (PUBLIC) - PLAN**  
SCALE: 1"=30' (H)

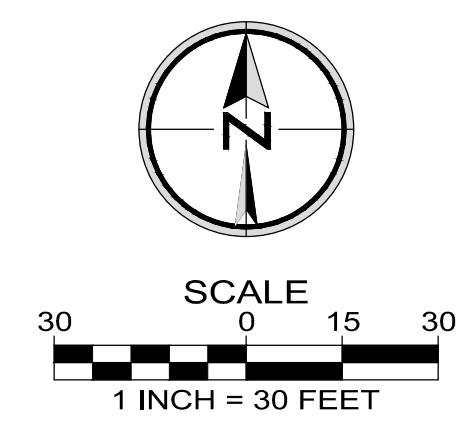
**LEGEND**

- PROPOSED SIDEWALK WITH FACILITY PERMIT
- PROPOSED SIDEWALK (BY HOMEBUILDER)
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE & VALVE
- PROPOSED PAVEMENT

**PIONEER DESIGN GROUP**  
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**SW DAVIES ROAD (PUBLIC) PROFILE**  
SCALE: 1"=30' (H), 1"=3' (V)



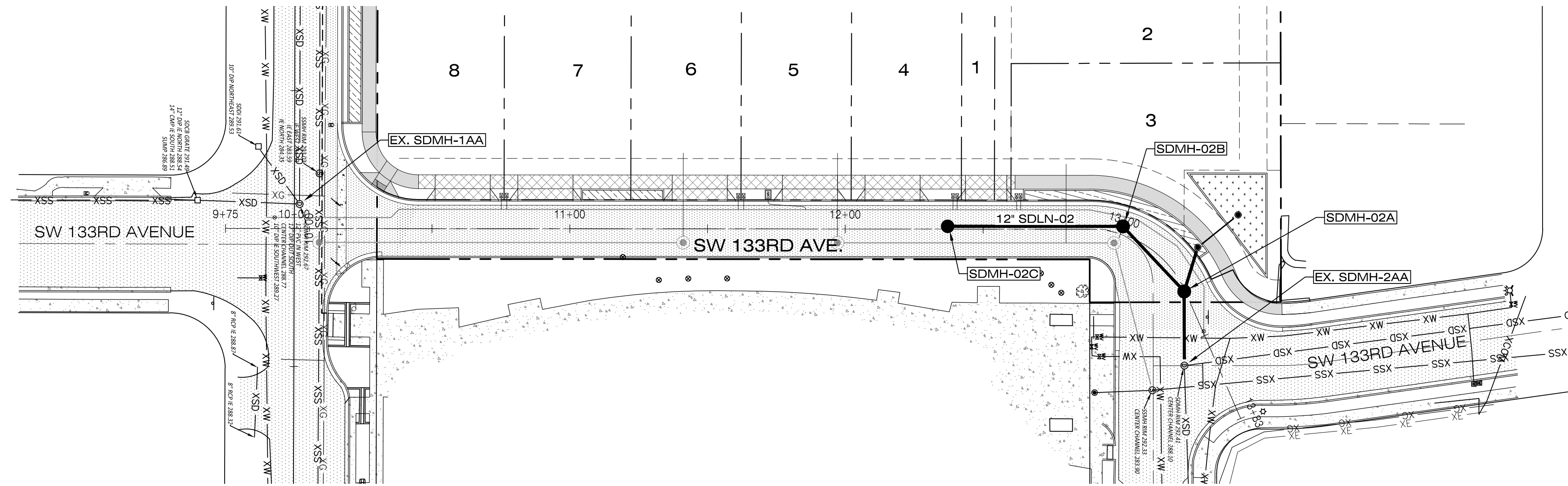
**SW DAVIES ROAD  
PLAN AND PROFILE**  
SOUTHTRIDGE PARK  
CITY OF BEAVERTON, OREGON

Designed by	Date	Drawn by	Date	Reviewed by	Date	Project No.	REF.
JIS	07/19	TCC	07/19	MLS	07/19	131-021	
Horiz. Scale: 1"=30'							Vert. Scale: 1"=3'

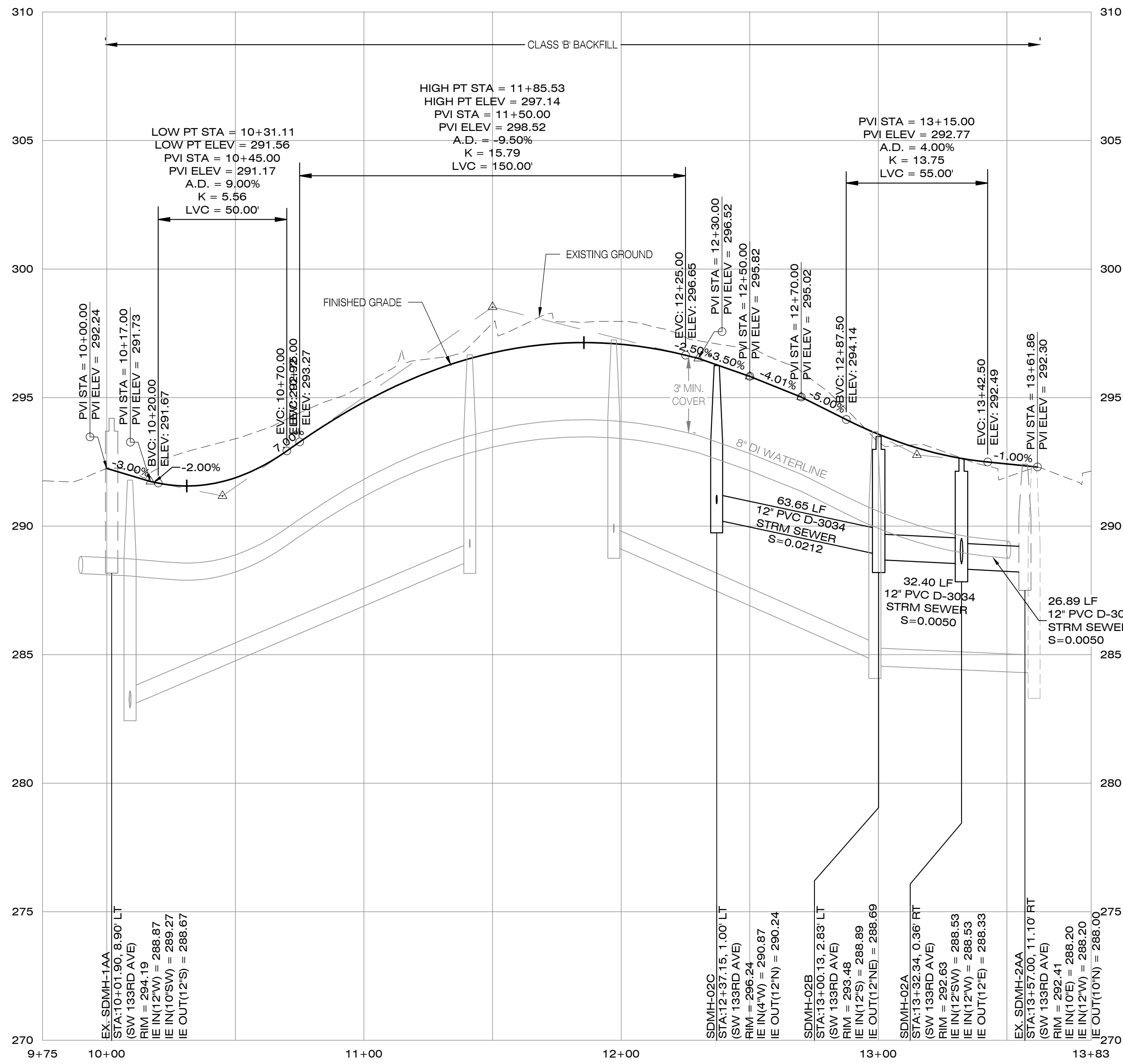
No.	Date	Revision

Project: SOUTHTRIDGE PARK  
 No.: 131-021  
 Type: PLANNING  
 Sheet: **P7.0**

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SW 133RD AVE, SDLN-01, SDLN-02 - PLAN  
SCALE: 1"=30' (H)



SW 133RD AVE, SDLN-01, SDLN-02 - PROFILE  
SCALE: 1"=30' (H), 1"=3' (V)

**LEGEND**

- PROPOSED SIDEWALK WITH FACILITY PERMIT
- PROPOSED SIDEWALK (BY HOMEBUILDER)
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE & VALVE
- PROPOSED PAVEMENT

**SW 133RD AVE, SDLN-01 & SDLN-02 - PLAN AND PROFILE**

SOUTHRIDGE PARK  
 CITY OF BEAVERTON, OREGON

Designed by	Date	REF.
JIS	07/19	
TCC	07/19	
MLS	07/19	

Project No. 131-021  
 Horiz. Scale: 1"=30'  
 Vert. Scale: 1"=3'  
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**STORM SEWER NOTES**

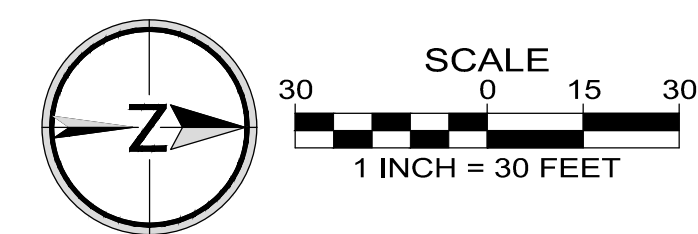
UNLESS OTHERWISE NOTED, ALL LATERALS ARE TO BE 4" PVC (ASTM D3034) WITH A MINIMUM SLOPE OF 0.0200. LATERAL CONNECTIONS TO MAIN SEWER LINE TO BE MADE WITH MANUFACTURED TEES.

INSERTA-TEES MAY BE USED FOR CONNECTION TO SEWER MAINS WITH AN INSIDE DIAMETER (I.D.) OF 12" OR LARGER.

ALL 2" x 4" STORM SERVICE CONNECTION MARKERS TO BE COLOR CODED WHITE.

BACKFILL NOTE: PIPES UNDER PAVED SURFACES REQUIRE GRANULAR BACKFILL. FOR PIPES OUTSIDE PAVEMENT, NATIVE BACKFILL IS PERMITTED, UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, LOCATION & DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.



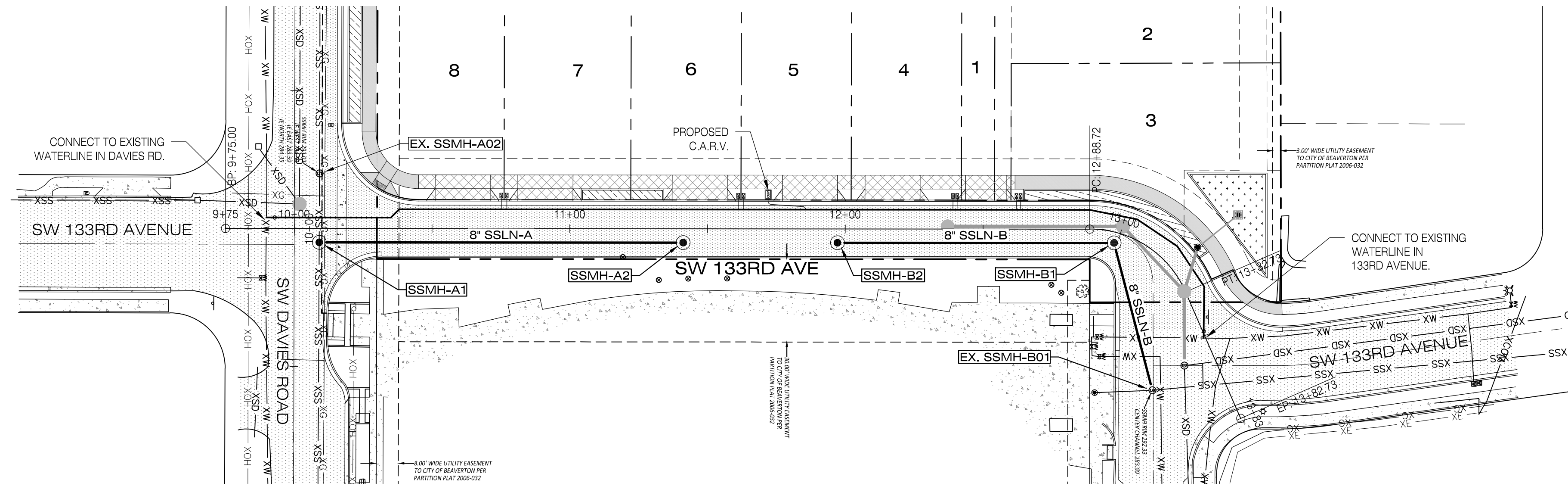
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No.	Date	Revision

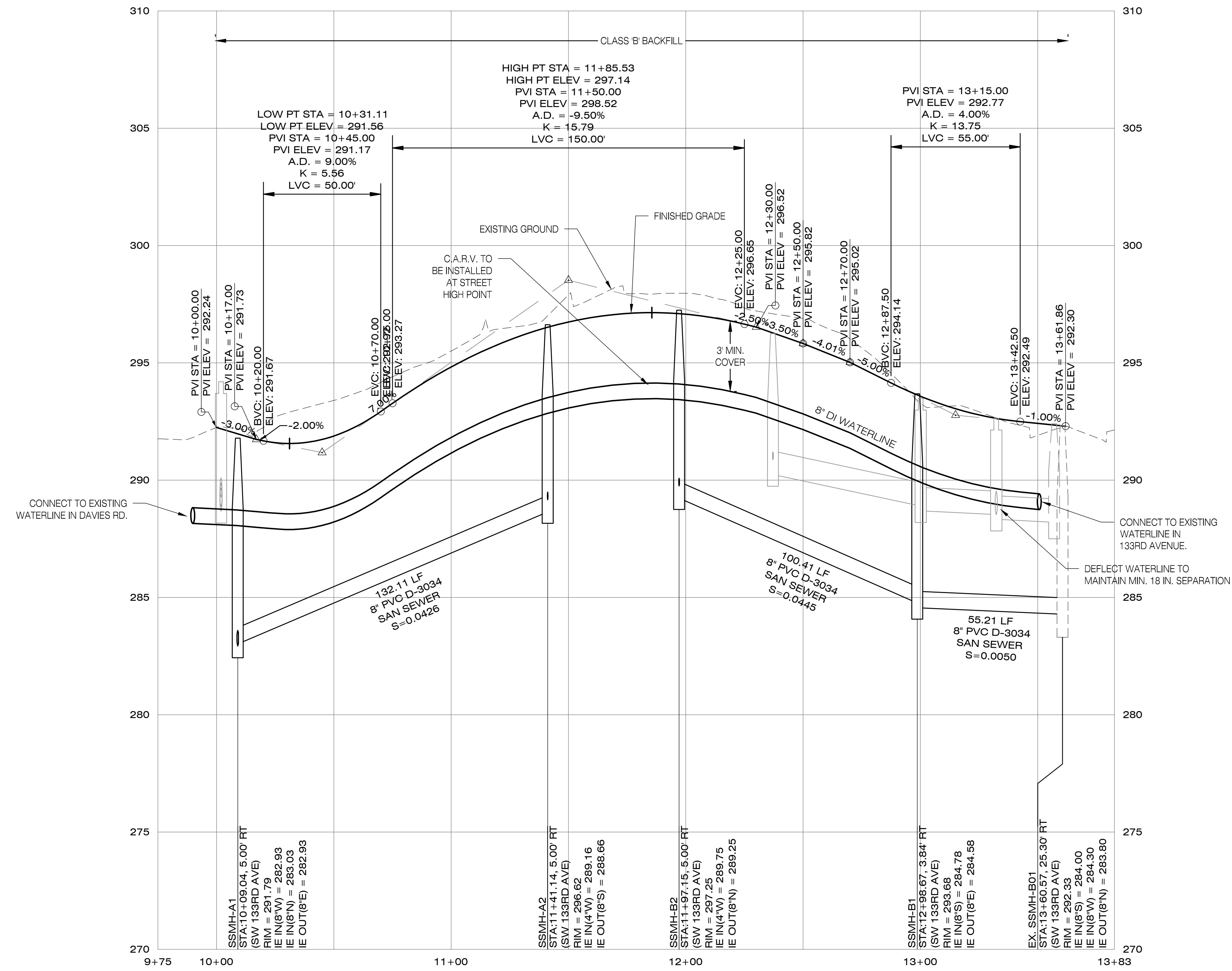
Project: SOUTHRIDGE PARK  
 No. 131-021  
 Type: PLANNING  
 Sheet: **P7.1**



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SSLN-A / SSLN-B - PLAN  
SCALE: 1"=30' (H)



SSLN-A / SSLN-B - PROFILE  
SCALE: 1"=30' (H), 1"=3' (V)

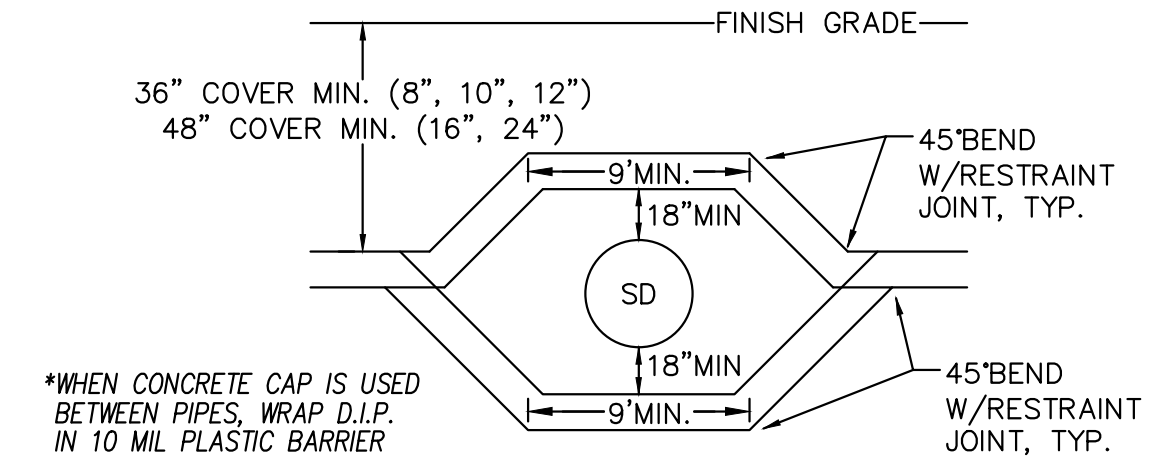
LEGEND

- PROPOSED SIDEWALK WITH FACILITY PERMIT
- PROPOSED SIDEWALK (BY HOMEBUILDER)
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED WATERLINE & VALVE
- PROPOSED WATER SERVICE
- PROPOSED PAVEMENT

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SSLN-A, SSLN-B -  
 PLAN AND PROFILE  
 SOUTH RIDGE PARK  
 CITY OF BEAVERTON, OREGON

Designed by	Date	Reviewed by	Date	Project No.	REF.
JIS	07/19	TCC	07/19	131-021	
Drawn by		MLS	07/19		



WATER LINE DEFLECTION DETAIL

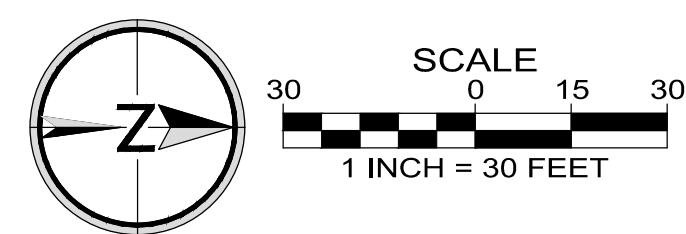
SANITARY SEWER NOTES

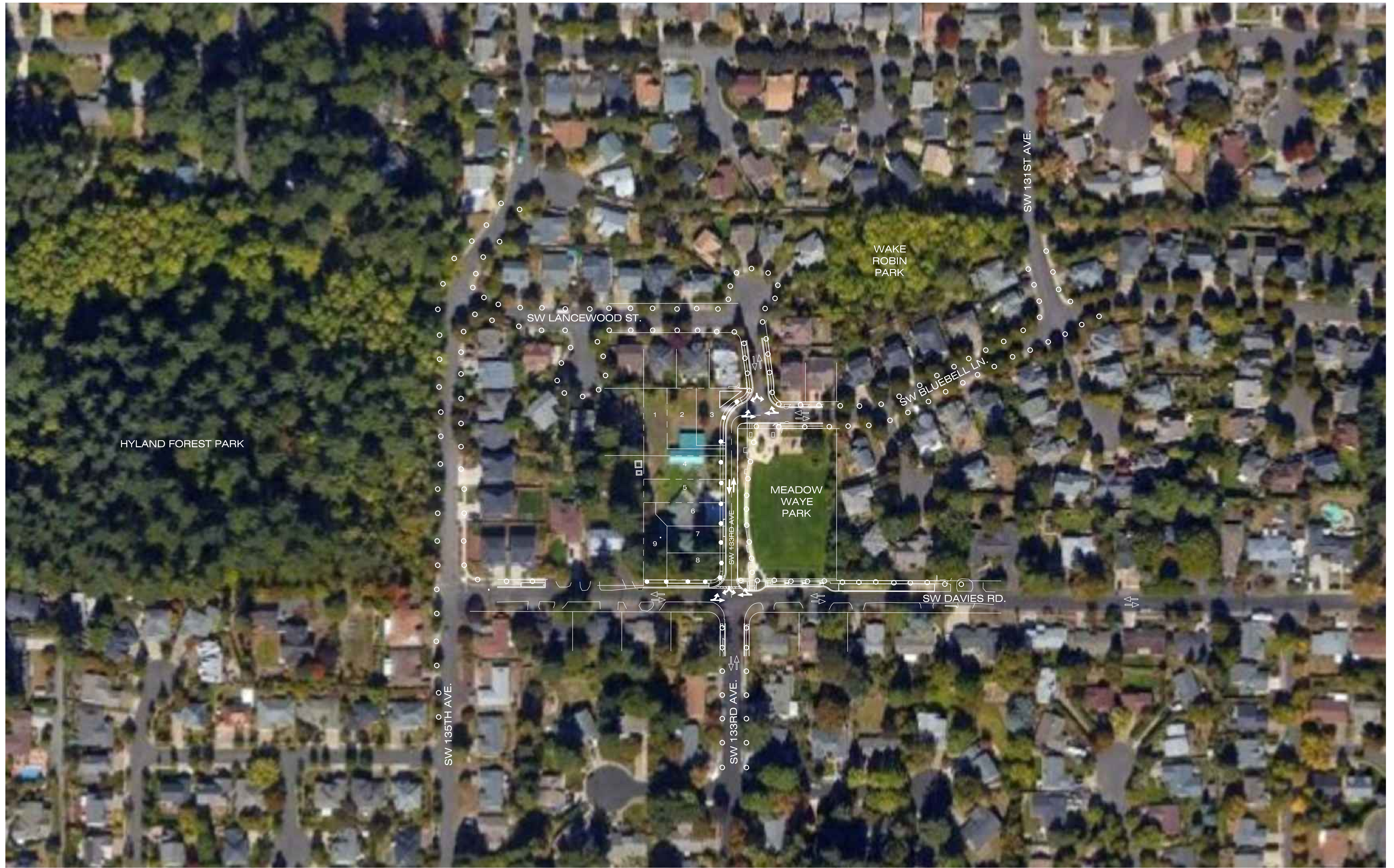
UNLESS OTHERWISE NOTED, ALL LATERALS ARE TO BE 4" PVC (ASTM D3034) WITH A MINIMUM SLOPE OF 0.0200. LATERAL CONNECTIONS TO MAIN SEWER LINE TO BE MADE WITH MANUFACTURED TEES.

ALL 2" x 4" SANITARY SERVICE CONNECTION MARKERS TO BE COLOR CODED GREEN.

BACKFILL NOTE: PIPES UNDER PAVED SURFACES REQUIRE GRANULAR BACKFILL. FOR PIPES OUTSIDE PAVEMENT, NATIVE BACKFILL IS PERMITTED, UNLESS OTHERWISE NOTED.

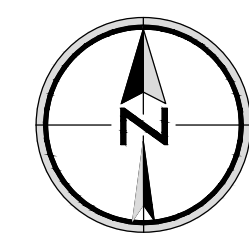
THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, LOCATION & DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.





**LEGEND**

- ● ● ● PROPOSED PEDESTRIAN CIRCULATION
- ○ ○ ○ EXISTING PEDESTRIAN CIRCULATION
- ↔ ↔ ↔ ↔ PROPOSED VEHICULAR / BICYCLE CIRCULATION
- ↔ ↔ ↔ ↔ EXISTING VEHICULAR / BICYCLE CIRCULATION



**CIRCULATION AND AERIAL PLAN**

SOUTHRIDGE PARK  
CITY OF BEAVERTON, OREGON

Designed by	Date	Drawn by	Date	Reviewed by	Date	Project No.	Horiz. Scale:	Vert. Scale:
JIS	07/19	TCC	07/19	MLS	07/19	131-021		

No.	Date	Revision	By

Project  
No. 131-021  
Type PLANNING  
Sheet